

GLENDALE CDR&J

A TRACT OF LAND BEING LOT B OF SCHWARTZ PINKUS MANOR AS RECORDED IN PLAT BOOK 188 PAGE 36
 LOCATED IN SECTION 31, TOWNSHIP 45 NORTH, RANGE 6 EAST OF THE 5TH PRINCIPAL MERIDIAN
 CITY OF GLENDALE, ST. LOUIS COUNTY, MISSOURI

SITE PLAN

LEGEND			
	BENCH MARK		FIRE HYDRANT
	FOUND IRON ROD		FIRE DEPARTMENT CONNECTION
	FOUND IRON PIPE		WATER MANHOLE
	RIGHT OF WAY MARKER		WATER METER
	UTILITY POLE		WATER VALVE
	SUPPORT POLE		POST INDICATOR VALVE
	UTILITY POLE WITH LIGHT		CLEAN OUT
	LIGHT STANDARD		STORM MANHOLE
	ELECTRIC METER		GRATED MANHOLE
	ELECTRIC MANHOLE		STORMWATER INLET
	ELECTRIC PEDESTAL		GRATED STORMWATER INLET
	ELECTRIC SPLICE BOX		SANITARY MANHOLE
	GAS DRIP		TREE
	GAS METER		BUSH
	GAS VALVE		TRAFFIC SIGNAL
	TELEPHONE MANHOLE		PARKING METER
	TELEPHONE PEDESTAL		STREET SIGN
	TELEPHONE SPLICE BOX		SPRINKLER
	CABLE TV PEDESTAL		MAIL BOX

ABBREVIATIONS	
C.O.	— CLEANOUT
DB.	— DEED BOOK
E.	— ELECTRIC
FL.	— FLOWLINE
FT.	— FEET
FND.	— FOUND
G.	— GAS
M.H.	— MANHOLE
N/F.	— NOW OR FORMERLY
P.B.	— PLAT BOOK
P.G.	— PAGE
P.V.C.	— POLYVINYL CHLORIDE PIPE
R.B.	— RADIAL BEARING
R.C.P.	— REINFORCED CONCRETE PIPE
SQ.	— SQUARE
T.	— TELEPHONE CABLE
V.C.P.	— VETRIFIED CLAY PIPE
W.	— WATER
(86'W)	— RIGHT-OF-WAY WIDTH



LOCATION MAP (NOT TO SCALE)

PERTINENT DATA

OWNER	=	GLENDALE PROPERTY HOLDING LLC
ADDRESS	=	10070 MANCHESTER ROAD
SITE ACREAGE	=	±4.63 Ac (201,806 Sq Ft)
LOCATOR No.	=	22M620561
FIRE DISTRICT	=	GLENDALE
SEWER DISTRICT	=	METROPOLITAN SEWER DISTRICT
WATER SERVICE	=	MISSOURI-AMERICAN WATER CO
GAS SERVICE	=	LACLEDE GAS CO
ELECTRIC SERVICE	=	AMEREN UE ELECTRIC
PHONE SERVICE	=	AT&T
ZIP CODE	=	63122
FLOOD MAP	=	29189C0307K

SHEET INDEX

C1.0	TITLE SHEET
C2.0	SITE PLAN
C3.0	SITE PHOTOMETRIC PLAN
L1.01	LANDSCAPE PLAN
1 of 2	ARCHITECTURAL ELEVATIONS
2 of 2	ARCHITECTURAL ELEVATIONS
A2.1	FIRST FLOOR DIMENSION PLAN
A2.2	ENLARGED PLANS

GENERAL NOTES:

1) Subject property is Zoned C-2
 Note: The above zoning provided by the City of Glendale, and to verify the client should obtain a zoning endorsement from their title company.
 Front: There shall be a front yard in a "C-2" District of not less than thirty-five (35) feet. Where a lot is located at the intersection of two (2) or more streets, there shall be a front yard on each street side of such corner lot of not less than thirty-five (35) feet. No main building or accessory building shall project beyond the front yard line on either side.

Side: There shall be a side yard in a "C-2" District of not less than ten (10) feet.

Rear: There shall be a rear yard in a "C-2" District having a minimum depth of fifty (50) feet in that portion of the "C-2" zone which has a depth of two hundred fifty (250) feet south of Manchester Road and a rear yard having a minimum depth of thirty (30) feet in that portion of the "C-2" District which has a maximum depth of one hundred seventy-five (175) feet south of Manchester Road. There shall be a rear yard having a minimum depth of twenty-five (25) feet in that portion of the "C-2" District which has a maximum depth of one hundred twenty feet (120) south of Manchester Road. Any property in this zone abutting any residential property shall have either a wall or fence along the rear of such lot or a screening belt ten (10) feet in width along the rear of the lot which shall be planted with trees and shrubbery. Such wall or fence or planted belt shall provide a screen of such height and character as is necessary to screen the commercial usage from such residential area; the plans for such screening shall be submitted to the Plan Commission for its advice and must be approved by the Board of Aldermen in accordance with the provisions of this Chapter before such property can be used for such purposes. No structures or buildings of any kind shall be erected in such rear yard.

Height: No building shall exceed 35'

2) Subject property lies within Flood Zone X (Areas of minimal flood hazard) according to the National Flood Insurance Rate Map Number 29189C0307K with an effective date of 02/04/2015.

3) There are 129 regular, 1 handicapped and many unmarked parking stalls onsite.

4) Utilities shown hereon are shown from record and/or survey information. Any location, size and type information should be considered as approximate only. It is the Contractors responsibility to call Dig-Rite to verify utility locations.

5) The subject property(ies) described in the above commitment are contiguous to each other and the adjoining properties, without any gaps, gorges or overlaps.

6) Square footage of the building has been calculated from dimensions approximately 5 foot above grade for the first floor only.



MISSOURI ONE-CALL: 1-800-344-7483
 ST. LOUIS COUNTY: (314) 615-0215
 SIGNALS & LIGHTING: (314) 615-0215

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED.

UTILITY NOTE

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND, THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo..

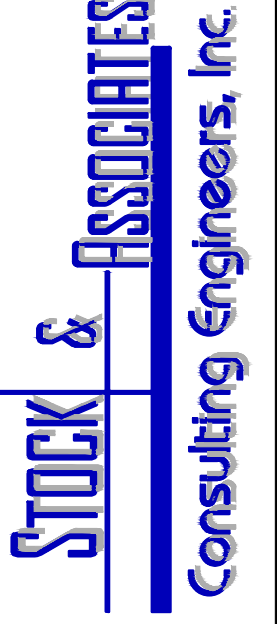
ST. LOUIS COUNTY BENCHMARK

BENCHMARK# 14323
 NOV29 Elev = 580.22
 "L" on the southwest corner of the first step on the east side facing Sappington Road of a commercial building addressed as #10028 Manchester Road; roughly 76' west of the centerline of Sappington Road and 146' south of the centerline of Manchester Road.

SITE BENCHMARK

Site Benchmark Elev = 552.53
 "Sq." cut on S.E. Corner of sign base as shown hereon.

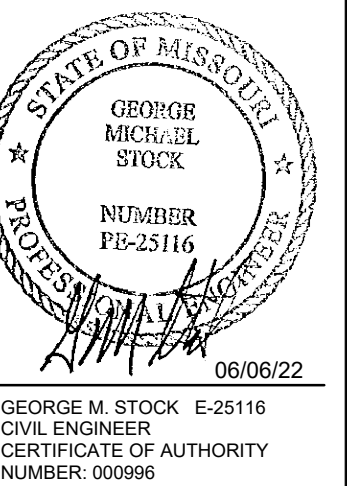
PREPARED BY:



PRELIMINARY SITE PLAN FOR:

GLENDALE CDR+J

10070 MANCHESTER ROAD
 GLENDALE, MO



REVISIONS:

DRAWN BY:	CHEKED BY:
J.E.B.	G.M.S.
DATE:	JOB NO:
06/06/22	220-6727
M.S.D. P. #:	BASE MAP #:
P-XXXX-XX	224
S.L.C. H&T #:	H&T S.U.P. #:
XXXX	XX-XXX-XX
M.D.N.R. #:	
MO-XXXXXX	
SHEET TITLE:	

TITLE SHEET

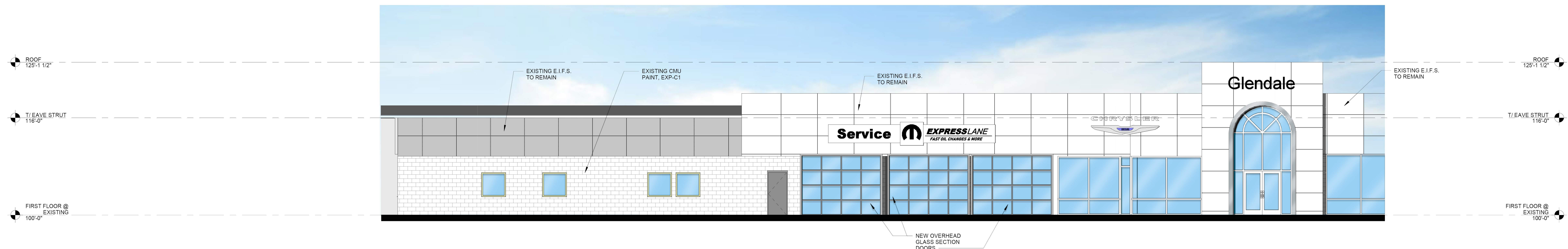
SHEET NO.: C1.0

DRAWING FILE: C:\DRAWINGS\2022\CDR+J\CDR+J_SITEL.PLOT.DWG LAYOUT: CDR+J_SITEL.PLOT.DWG JAN 08 2022 12:47PM PLOTTED BY: jrb/kaw

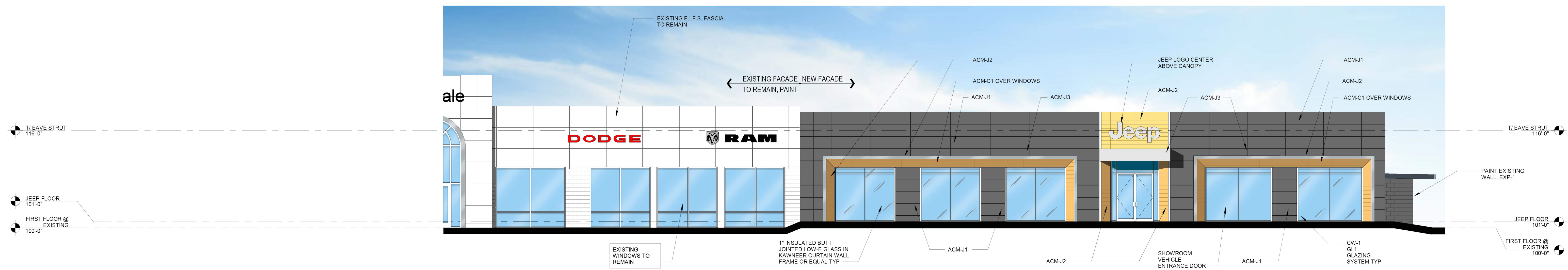
PREPARED FOR:
 GLENDALE CHRYSLER JEEP DODGE & RAM
 10070 MANCHESTER RD.
 ST. LOUIS, MO. 63122
 ATTN: MS. JENNI BELDING - GENERAL MANAGER



C1 PARTIAL ELEVATION - NORTH
1/8" = 1'-0"



B1 PARTIAL ELEVATION - NORTH
1/8" = 1'-0"



A1 PARTIAL ELEVATION - NORTH
1/8" = 1'-0"

Showroom Renovation and Service Bay Addition

Glendale Chrysler Jeep Dodge Ram

17107 Chesterfield Airport Road | Suite 110
Chesterfield, Missouri 63005
314.991.9993
aciboland.com





B1 OVERALL BUILDING ELEVATION - NORTH
1/16" = 1'-0"



A1 OVERALL BUILDING ELEVATION - SOUTH
1/16" = 1'-0"

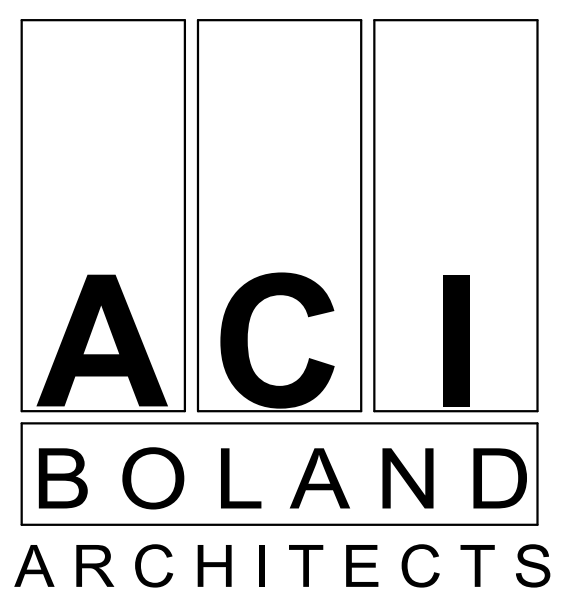
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Glendale Chrysler Jeep Dodge Ram

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Chesterfield, Missouri 63005
314.991.9993
aciboland.com

6/6/2022





ACI/Boland, Inc.
Kansas City | St. Louis
1710 Wyandotte
Kansas City, MO 64108
T: 816.763.9600
Licensee's Certificate of Authority Number:
Missouri: #000958

CONSULTANT
COMPANY NAME
123 MAIN STREET
KANSAS CITY, MO 64105
T: 000.000.0000
Licensee's Certificate of Authority Number:
0000000000

CONSULTANT
COMPANY NAME
123 MAIN STREET
KANSAS CITY, MO 64105
T: 000.000.0000
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KANSAS CITY, MO 64105
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123 MAIN STREET
KANSAS CITY, MO 64105
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123 MAIN STREET
KANSAS CITY, MO 64105
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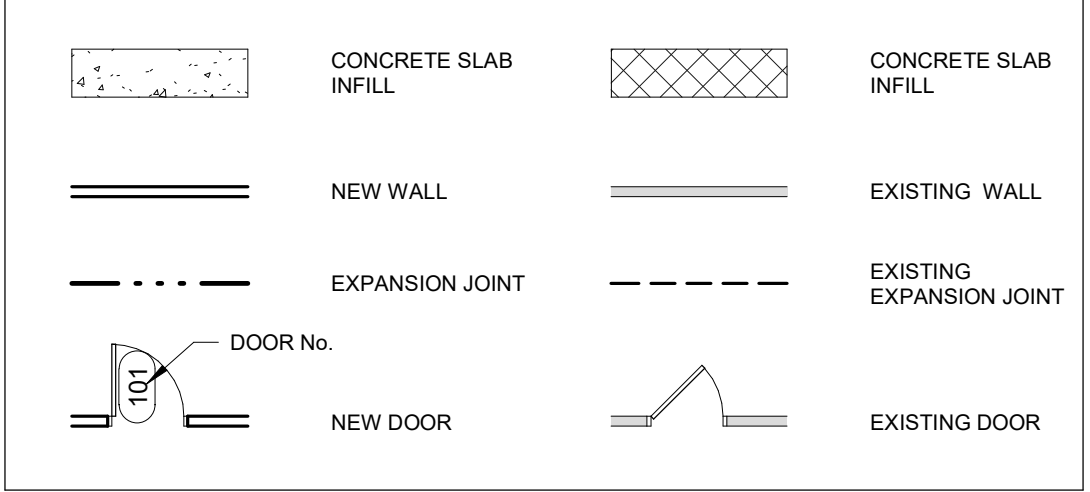
Glendale Chrysler Jeep Dodge Ram
Showroom Renovation and Service
Bay Addition
10700 Manchester Road
St. Louis, Missouri 63122

Date 02-21-22
Job Number 21117
Drawn By MPM
Checked By RAC

Revision
Number Date Description

Revision	Number	Date	Description

FLOOR PLAN LEGEND

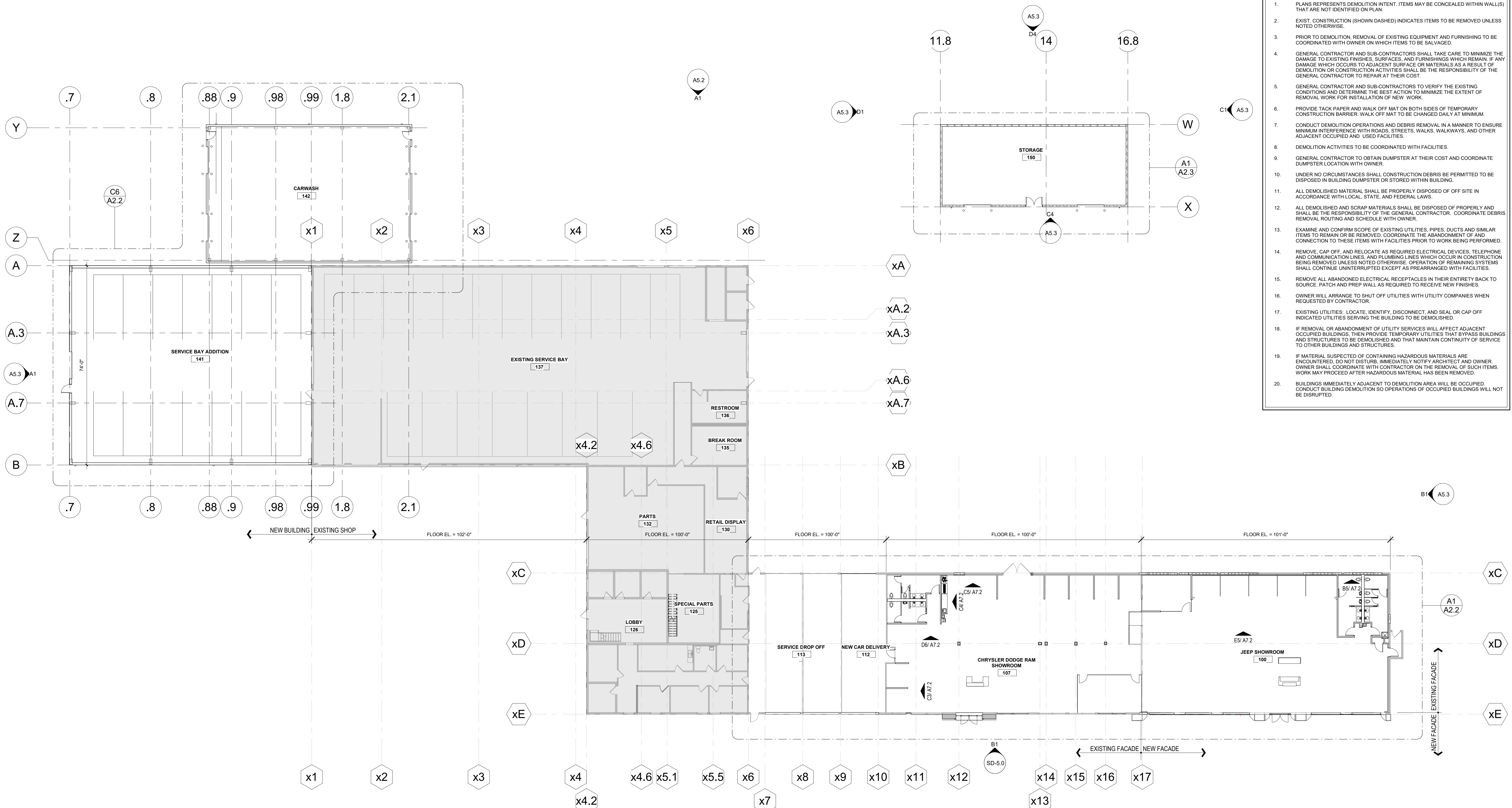


GENERAL PLAN NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH A.D.A. REQUIREMENTS AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL BUILDING CODES AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING PERMITS.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR DISCREPANCIES WITH THE PROJECT DOCUMENTS. ACCESS TO THE SITE AND/OR SPACE UNDER CONSTRUCTION DURING BIDDING AND CONSTRUCTION SHALL BE COORDINATED WITH THE OWNER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING AND CONFIRMING ALL SUBSTRATE CONDITIONS WHERE NEW MATERIALS ARE APPLIED. THE SUBSTRATE SHALL BE SMOOTH AND FREE OF DEFECTS AND SHALL CONFORM TO THE REQUIREMENTS OF THE FINISHED MATERIAL MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR TO PROVIDE ALL REQUIRED LABOR, MATERIAL, AND EQUIPMENT NECESSARY TO MEET AND COMPLETE THE REQUIREMENTS OF THE NEW CONSTRUCTION.
- ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED, REPAIRED, AND PREP AS REQUIRED FOR NEW FINISH APPLICATION.
- DO NOT CLOSE OR OBSTRUCT WALKWAYS, EXITS, OR OTHER FACILITIES USED BY OCCUPANTS OF BUILDINGS WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
- CONDUCT ALL OPERATIONS IN A SAFE WORKING MANNER TO PREVENT DAMAGE OR INJURY TO ADJACENT SPACES, BUILDING, STRUCTURE, OTHER FACILITIES, AND PERSONS.
- SEE FINISH SCHEDULE FOR FINISH LOCATION AND SPECIFICATIONS.
- SEE DOOR SCHEDULE FOR DOOR SPECIFICATIONS.

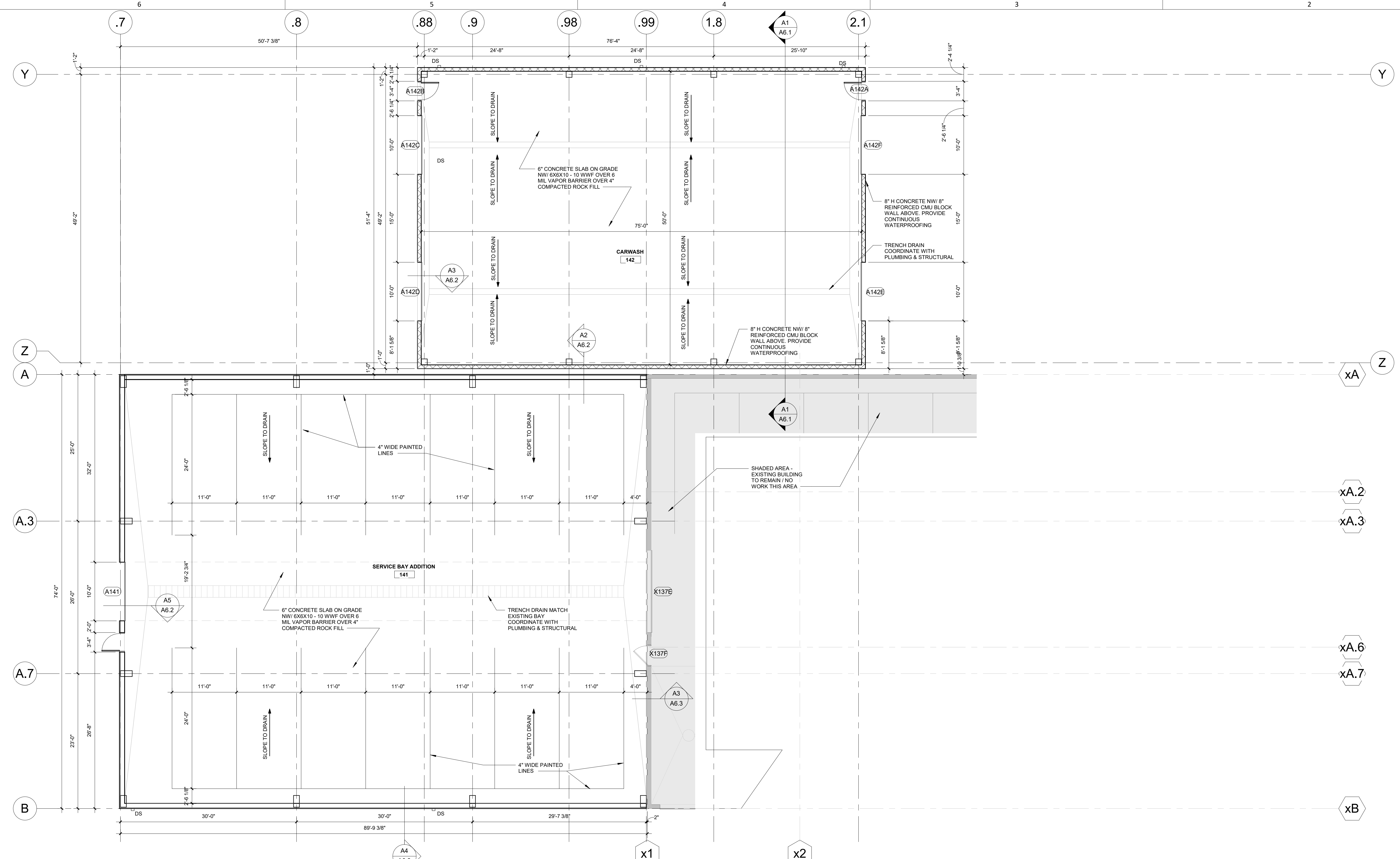
- DESIGN BUILD NOTES**
- ALL ELECTRICAL, DATA, THERMOSTAT, AND TELEPHONE OUTLETS ARE FOR REFERENCE ONLY. COORDINATE WITH OWNER FOR EXACT QUANTITY AND LOCATION OF ALL ITEMS PRIOR TO WORK BEING PERFORMED. COMPLY WITH ALL APPLICABLE CODES.
 - DESIGN/BUILD CONTRACTOR TO PROVIDE FIRE AND LIFE SAFETY DEVICES, EGRESS LIGHTING DEVICES AS REQUIRED TO COMPLY WITH NFPA STANDARDS AND ALL APPLICABLE BUILDING CODES. SUBMIT SIGNED AND SEALED DRAWINGS TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO WORK BEING PERFORMED.
 - IT IS THE DESIGN BUILDER'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND ANY EXISTING NON-CODE COMPLIANT ITEMS REQUIRING UPGRADES, AS A PART OF PREPARING THEIR DESIGN BUILD PROPOSAL.
 - EXISTING MEPPF DEVICES SHOWN ARE BASED ON EXISTING DRAWINGS AND/OR FIELD OBSERVATIONS. THE OWNER/ARCHITECT DOES NOT GUARANTEE THE ACCURACY/LOCATION OR QUANTITY OF EXISTING DEVICES.

- DEMOLITION NOTES**
- PLANS REPRESENTS DEMOLITION INTENT. ITEMS MAY BE CONCEALED WITHIN WALL(S) THAT ARE NOT IDENTIFIED ON PLAN.
 - EXIST. CONSTRUCTION (SHOWN DASHED) INDICATES ITEMS TO BE REMOVED UNLESS NOTED OTHERWISE.
 - PRIOR TO DEMOLITION, REMOVAL OF EXISTING EQUIPMENT AND FURNISHING TO BE COORDINATED WITH OWNER ON WHICH ITEMS TO BE SALVAGED.
 - GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL TAKE CARE TO MINIMIZE THE DAMAGE TO EXISTING FINISHES, SURFACES, AND FURNISHINGS WHICH REMAIN. IF ANY DAMAGE WHICH OCCURS TO ADJACENT SURFACE OR MATERIALS AS A RESULT OF DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REPAIR AT THEIR COST.
 - GENERAL CONTRACTOR AND SUB-CONTRACTORS TO VERIFY THE EXISTING CONDITIONS AND DETERMINE THE BEST ACTION TO MINIMIZE THE EXTENT OF REMOVAL WORK FOR INSTALLATION OF NEW WORK.
 - PROVIDE TACK PAPER AND WALK OFF MAT ON BOTH SIDES OF TEMPORARY CONSTRUCTION BARRIER. WALK OFF MAT TO BE CHANGED DAILY AT MINIMUM.
 - CONDUCT DEMOLITION OPERATIONS AND DEBRIS REMOVAL IN A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
 - DEMOLITION ACTIVITIES TO BE COORDINATED WITH FACILITIES.
 - GENERAL CONTRACTOR TO OBTAIN DUMPSTER AT THEIR COST AND COORDINATE DUMPSTER LOCATION WITH OWNER.
 - UNDER NO CIRCUMSTANCES SHALL CONSTRUCTION DEBRIS BE PERMITTED TO BE DISPOSED IN BUILDING DUMPSTER OR STORED WITHIN BUILDING.
 - ALL DEMOLISHED MATERIAL SHALL BE PROPERLY DISPOSED OF OFF SITE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL LAWS.
 - ALL DEMOLISHED AND SCRAP MATERIALS SHALL BE DISPOSED OF PROPERLY AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. COORDINATE DEBRIS REMOVAL ROUTING AND SCHEDULE WITH OWNER.
 - EXAMINE AND CONFIRM SCOPE OF EXISTING UTILITIES, PIPES, DUCTS AND SIMILAR ITEMS TO REMAIN OR BE REMOVED. COORDINATE THE ABANDONMENT OF AND CONNECTION TO THESE ITEMS WITH FACILITIES PRIOR TO WORK BEING PERFORMED.
 - REMOVE, CAP OFF, AND RELOCATE AS REQUIRED ELECTRICAL DEVICES, TELEPHONE AND COMMUNICATION LINES, AND PLUMBING LINES WHICH OCCUR IN CONSTRUCTION BEING REMOVED UNLESS NOTED OTHERWISE. OPERATION OF REMAINING SYSTEMS SHALL CONTINUE UNINTERRUPTED EXCEPT AS PREARRANGED WITH FACILITIES.
 - REMOVE ALL ABANDONED ELECTRICAL RECEPTACLES IN THEIR ENTIRETY BACK TO SOURCE. PATCH AND PREP WALL AS REQUIRED TO RECEIVE NEW FINISHES.
 - OWNER WILL ARRANGE TO SHUT OFF UTILITIES WITH UTILITY COMPANIES WHEN REQUESTED BY CONTRACTOR.
 - EXISTING UTILITIES, LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITIES SERVING THE BUILDING TO BE DEMOLISHED.
 - IF REMOVAL OR ABANDONMENT OF UTILITY SERVICES WILL AFFECT ADJACENT OCCUPIED BUILDINGS, THEN PROVIDE TEMPORARY UTILITIES THAT BYPASS BUILDINGS AND STRUCTURES TO BE DEMOLISHED AND THAT MAINTAIN CONTINUITY OF SERVICE TO OTHER BUILDINGS AND STRUCTURES.
 - IF MATERIAL SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY ARCHITECT AND OWNER. OWNER SHALL COORDINATE WITH CONTRACTOR ON THE REMOVAL OF SUCH ITEMS. WORK MAY PROCEED AFTER HAZARDOUS MATERIAL HAS BEEN REMOVED.
 - BUILDINGS IMMEDIATELY ADJACENT TO DEMOLITION AREA WILL BE OCCUPIED. CONDUCT BUILDING DEMOLITION SO OPERATIONS OF OCCUPIED BUILDINGS WILL NOT BE DISRUPTED.



A1 OVERALL FLOOR PLAN
1/16" = 1'-0"



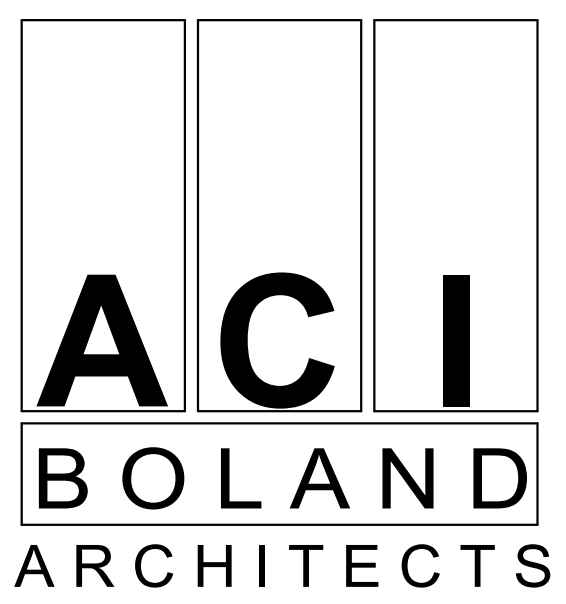


C6 01 - Floor Plan - SHOP CARWASH
 1/8" = 1'-0"
 PLAN NORTH

FLOOR PLAN LEGEND			
	CONCRETE SLAB INFILL		CONCRETE SLAB INFILL
	NEW WALL		EXISTING WALL
	EXPANSION JOINT		EXISTING EXPANSION JOINT
	DOOR No.		NEW DOOR
			EXISTING DOOR

KEYNOTES - FLOOR PLAN	
NUMBER	COMMENTS
1	ALIGN FACE OF GYP BD.
2	INFILL EXISTING OPENING WITH CMU ALIGN EACH SIDE WITH EXISTING WALL.
3	NEW BUTT GLAZING CLEAR WINDOW SYSTEM. FINISH FLOOR TO CEILING.
4	DRAP.
5	WRAP EXISTING COLUMN WITH PARTITION TYPE K1 HOLD TIGHT TO STRUCTURE.
6	VEHICLE PAD BY OWNER.
7	NEW STOREFRONT WINDOW SYSTEM. MATCH EXISTING WINDOW SYSTEMS.
8	NEW ENTRY SYSTEMS.
9	42" HIGH PARTITION.
10	JEEP TRAIL WALL REQUIRES AN ELECTRIC OUTLET AT 86.75" A.F.F. SEE ELEC. DRAWINGS.
11	JEEP TECH BAR REQUIRES POWER. COORDINATE WITH FURNITURE VENDOR FOR ELEC. REQUIREMENTS. SEE ELEC. DRAWINGS.
12	WELCOME WALL, CREDENTIAL AND RECEPTION DESK REQUIRE POWERS. COORDINATE WITH FURNITURE VENDOR FOR ELEC. REQUIREMENTS. SEE ELEC. DRAWINGS.
13	MILLWORK SURROUND AT THE OPENING. G.C. TO VERIFY OPENING SIZE. SEE DETAIL SHEET FOR MORE INFORMATION.
14	ALIGN WITH ADJACENT WALL.
15	DEALERSHIP FURNITURE WILL BE APPROVED SEPARATELY BY CRE PROJECT MANAGER.
16	ALL CUSTOMER SALES FURNITURE WILL BE BY STELLANTIS APPROVED VENDOR.

PRELIMINARY,
 NOT FOR
 CONSTRUCTION,
 RECORDING
 PURPOSES, OR
 IMPLEMENTATION
6/6/2022 11:57:15 AM
 License - Missouri WA-2011012130



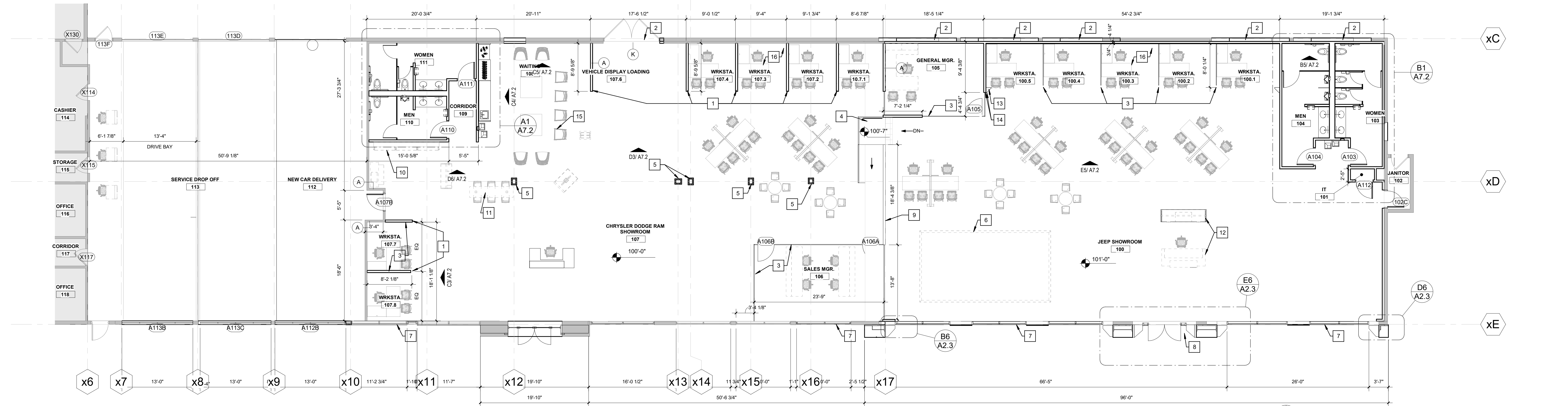
ACI/Boland, Inc.
 Kansas City | St. Louis
 1710 Wyandotte
 Kansas City, MO 64108
 T: 816.763.9600
 Licensee's Certificate of Authority Number:
 Missouri: #000958

CONSULTANT
COMPANY NAME
 123 MAIN STREET
 KANSAS CITY, MO 64105
 T: 000.000.0000
 Licensee's Certificate of Authority Number:
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 123 MAIN STREET
 KANSAS CITY, MO 64105
 T: 000.000.0000
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A1 01 - Floor Plan - SHOWROOM
 1/8" = 1'-0"
 PLAN NORTH

Glendale Chrysler Jeep Dodge Ram
Showroom Renovation and Service
Bay Addition
10700 Manchester Road
St. Louis, Missouri 63122

Date 02-21-22
 Job Number 21117
 Drawn By Author
 Checked By Checker

Revision	Date	Description